

# NOTICE OF AN APPLICATION FOR A PLANNING PERMIT



The application reference number is:  
**P2026/1649**

The applicant for the permit is:

The Land affected by the application is located at:  
**82 PALM BEACH GROVE SOMERS VICTORIA 3927**  
**LOT 84 LP 11951 VOL 7372 FOL 271**

The application is for a permit to:  
**ADDITIONS & ALTERATIONS TO AN EXISTING DWELLING**

The Responsible Authority will not decide on the application before:

**31 JULY 2026**

A permit is required under the following clauses of the planning scheme:

| Planning Scheme Clause: | Matter for which a permit is required                         |
|-------------------------|---------------------------------------------------------------|
| Clause 42.01-2 (ESO21)  | Construct a building and carry out works (dwelling additions) |
| Clause 42.01-2 (ESO28)  | Construct a building and carry out works (dwelling additions) |
| Clause 42.03-2 (SL02)   | Construct a building and carry out works (dwelling additions) |
| Clause 43.01-1 (HO290)  | Construct a building and carry out works (dwelling additions) |

## How can I find out more?

You may look at the application and any documents that support the application at the office of the responsible authority, Mornington Peninsula Shire Council, 2 Queen Street, Mornington. This can be done during office hours and is free of charge.

You may look at the application and any documents that support the application free of charge at: [www.mornpen.vic.gov.au](http://www.mornpen.vic.gov.au) You may also call (03) 5950 1010 to arrange a time to look at the application and any documents that support the application at the office of the responsible authority, Mornington Peninsula Shire Council. This can be done during office hours and is free of charge. You may also scan the QR code below to view the documents that support the application.



## How can I make a submission?

Any person who may be affected by the grant of the permit may object or make other submissions to the responsible authority.

An objection must be made to the responsible authority in writing, include the reasons for the objection and state how the objector would be affected.

- Include the objector's full name, relevant postal address, phone number & email address
- Specify the planning application number

**Lodge online** at [www.mornpen.vic.gov.au](http://www.mornpen.vic.gov.au);

Or mail to: Planning Services Team, Mornington Peninsula Shire, Private Bag 1000, Rosebud 3939

The responsible authority must make a copy of every objection available for any person to inspect free of charge until the end of the period during which an application may be made for review of a decision on the application

If you object, the responsible authority will tell you its decision.

**Privacy Notification:** The personal information provided in an objection is collected for planning purposes in accordance with the Planning & Environment Act 1987 (the Act). The public may view an objection in accordance with Section 57 of the Act whilst the planning application is current

# 82 PALM BEACH GROVE SOMERS

## BUILDING PERMIT SET

**Mornington Peninsula Shire**

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| A01.2          | GENERAL NOTES 2                   |                  |
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| A04.2          | PR GROUND FLOOR PLAN              |                  |
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| A08.1          | SHOWER DETAIL                     |                  |

### 2.0 LEGEND

|                                                                                       |                                                                                                                                                                                                                                   |
|---------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| CL                                                                                    | CEILING LINE                                                                                                                                                                                                                      |
| CLD#                                                                                  | CLADDING AS PER EXTERIOR FINISHES SCHEDULE                                                                                                                                                                                        |
| DP                                                                                    | DOWN PIPE TO MATCH EXISTING                                                                                                                                                                                                       |
| F                                                                                     | FIXED WINDOW. REFER WINDOW SCHEDULE                                                                                                                                                                                               |
| FASCIA                                                                                | FASCIA AS SPECIFIED                                                                                                                                                                                                               |
| FG                                                                                    | COLORBOND FASCIA GUTTER ON METAL FASCIA. GUTTER AND FASCIA PROFILE TO MATCH EXISTING (ASSUMED SQUARELINE). REFER TO FINISHES SCHEDULE                                                                                             |
| FST                                                                                   | FLOOR STRUCTURE TO ENGINEERS DETAILS                                                                                                                                                                                              |
| NGL                                                                                   | NATURAL GROUND LINE                                                                                                                                                                                                               |
| RST                                                                                   | ROOF STRUCTURE TO ENGINEERS DETAILS                                                                                                                                                                                               |
| RS#                                                                                   | KLIPOK ROOF SHEETING, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NCC REQUIREMENTS. REFER FINISHES SCHEDULE FOR COLOUR. REFER TO ROOF PLAN LEGEND FOR SPECIFICATION                                            |
| W / HAB                                                                               | WINDOW (HABITABLE)                                                                                                                                                                                                                |
| W / NH                                                                                | WINDOW (NON HABITABLE)                                                                                                                                                                                                            |
| WB                                                                                    | WALL BELOW                                                                                                                                                                                                                        |
| W/H                                                                                   | WALL HEIGHT                                                                                                                                                                                                                       |
|  | SMOKE ALARMS TO COMPLY WITH AS 3786:2023 AND NCC PART 3.7.2. INSTALL ON OR NEAR CEILING PER NCC/AS 3786 REQUIREMENTS. MAINS POWERED WITH BATTERY BACKUP WHERE REQUIRED. INTERCONNECT ALL ALARMS SO ACTIVATION OF ONE TRIGGERS ALL |
|  | EXISTING WALLS                                                                                                                                                                                                                    |

| REVISIONS                                                                          |      |             |
|------------------------------------------------------------------------------------|------|-------------|
| REVISIONS                                                                          | DATE | DESCRIPTION |
|  |      |             |

| CLIENT                     |
|----------------------------|
| PROJECT ADDRESS            |
| 82 PALM BEACH GROVE SOMERS |
| PROJECT STAGE              |
| TOWN PLANNING              |

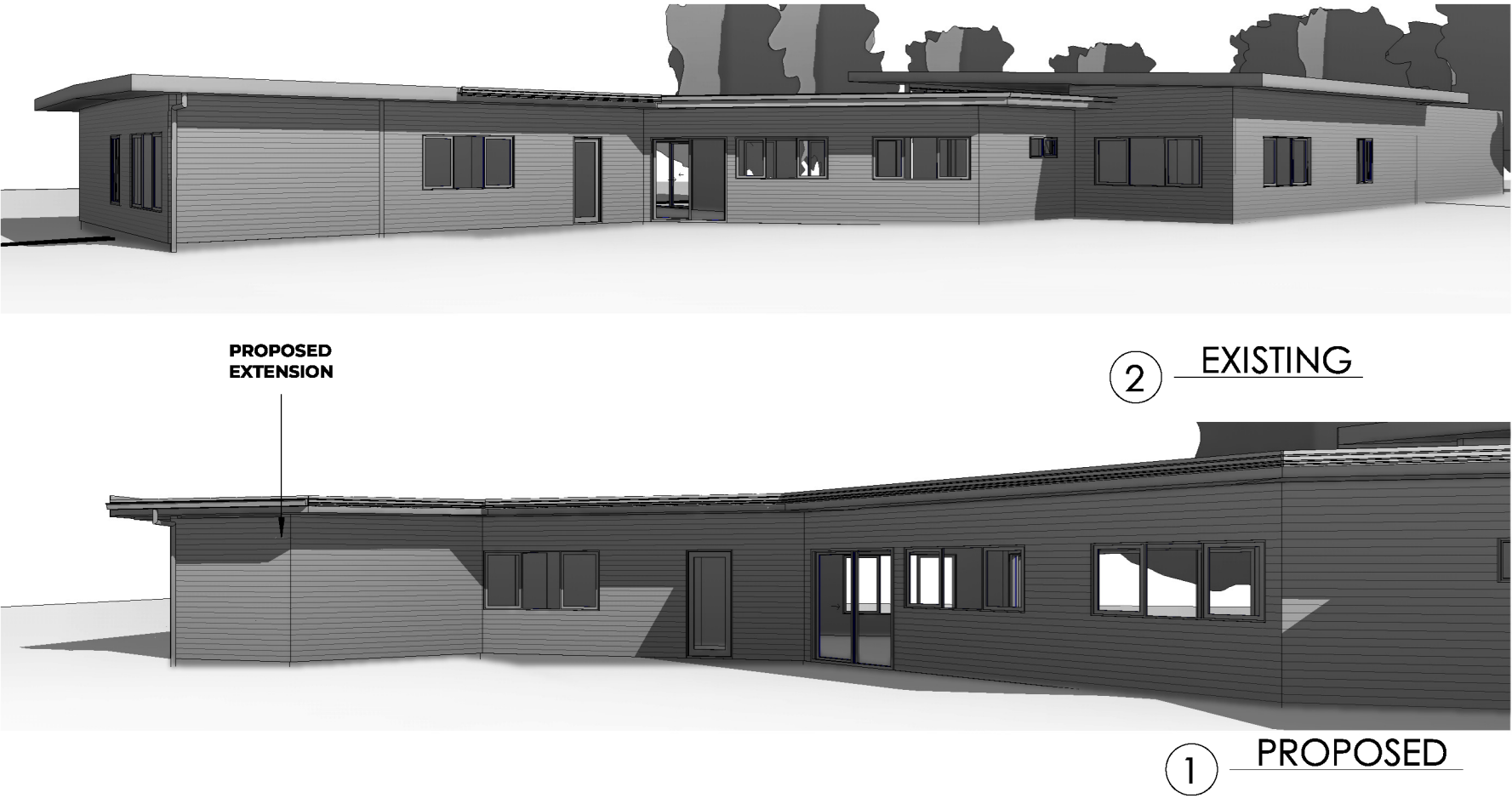
| NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
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| DRAWING TITLE        | DRAWN BY          | DRAWING NO.  |
|----------------------|-------------------|--------------|
| COVER SHEET & LEGEND | CUSP ARCHITECTURE | A00          |
|                      | SCALE             | REVISION NO. |
|                      | 1 : 100 @A3       |              |
|                      | ISSUE DATE        |              |
|                      | 12.05.2026        |              |
|                      | PROJECT NO.       |              |
|                      | 2613              |              |

EXTERIOR FINISHES SCHEDULE

| CODE         | DESCRIPTION                                                                                                                                                        |
|--------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| RS1          | COLOURBOND 0.48 BMT CUSTOM ORB ROOF SHEETING<br>IN FINISH TO MATCH EXISTING, INSTALLED IN ACCORDANCE<br>WITH MANUFACTURER'S SPECIFICATIONS AND NCC<br>REQUIREMENTS |
| CLD1         | HORIZONTAL SHIPLAP CLADDING TO MATCH EXISTING FIXED<br>TO 35MM BATTENS                                                                                             |
| W, D         | WINDOWS AND DOORS POWDERCOATED IN 'BLACK'                                                                                                                          |
| DP           | DOWNPIPES TO MATCH WALL COLOUR                                                                                                                                     |
| FG<br>FASCIA | FASCIA GUTTER AND FASCIA TO MATCH EXISTING                                                                                                                         |

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| REVISIONS |      |             |
|-----------|------|-------------|
| REVISIONS | DATE | DESCRIPTION |

| CLIENT                     |
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| PROJECT ADDRESS            |
| 82 PALM BEACH GROVE SOMERS |
| PROJECT STAGE              |
| TOWN PLANNING              |

| NOTES                                                                                                                                                                                                                                                                                                                                                                                                                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
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| DRAWING TITLE              | DRAWN BY          | DRAWING NO.  |
|----------------------------|-------------------|--------------|
| EXTERNAL FINISHES SCHEDULE | CUSP ARCHITECTURE | A02.1        |
|                            | SCALE             | REVISION NO. |
|                            | 1 : 100 @A3       |              |
|                            | ISSUE DATE        |              |
|                            | 12.05.2026        |              |
|                            | PROJECT NO.       |              |
|                            | 2613              |              |

PLANNING OVERLAYS

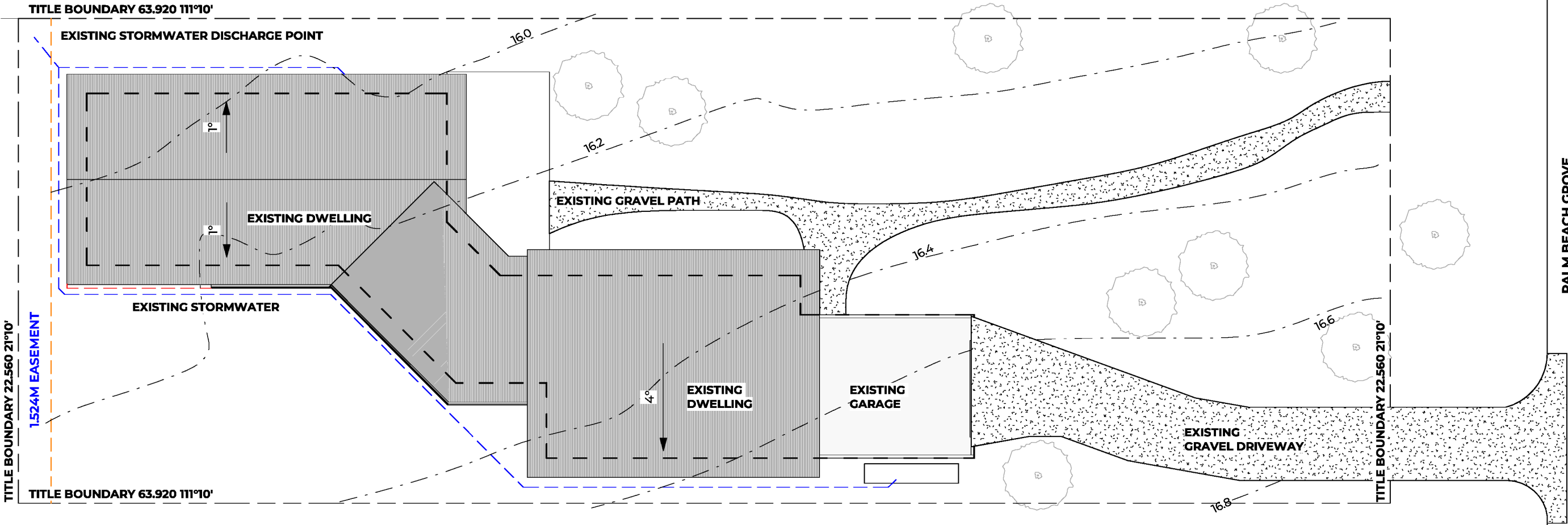
Zone:  
GENERAL RESIDENTIAL ZONE (GRZ)  
GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)  
Overlays:  
DESIGN AND DEVELOPMENT OVERLAY (DDO)  
DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 3 (DDO3)  
VEGETATION PROTECTION OVERLAY (VPO)  
VEGETATION PROTECTION OVERLAY - SCHEDULE 1 (VPO1)  
ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)  
ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 21 (ESO21)  
SIGNIFICANT LANDSCAPE OVERLAY (SLO)  
SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 2 (SLO2)  
ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 28 (ESO28)  
HERITAGE OVERLAY (HO)  
HERITAGE OVERLAY (HO290)

|                              |           |
|------------------------------|-----------|
| AREAS                        |           |
| SITE                         | 1,441 SQM |
| HOUSE                        | 274.9 SQM |
| GARAGE                       | 58.3 SQM  |
| PERGOLA                      | 36.8 SQM  |
| EXTENSION                    | 7 SQM     |
| PROPOSED SITE COVERAGE 23.7% |           |
| PERMEABILITY 73.8%           |           |

ADJOINING  
SINGLE STOREY  
WEATHERBOARD  
DWELLING

Mornington Peninsula Shire

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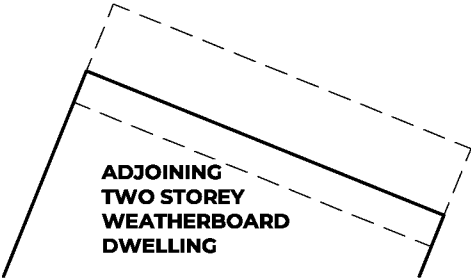


1 EX SITE PLAN  
1 : 200



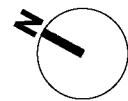
| REVISIONS | DATE | DESCRIPTION |
|-----------|------|-------------|
|           |      |             |

CLIENT  
  
PROJECT ADDRESS  
82 PALM BEACH GROVE SOMERS  
  
PROJECT STAGE  
TOWN PLANNING



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DRAWING TITLE  
EX SITE PLAN



DRAWN BY  
CUSP ARCHITECTURE  
SCALE  
As indicated @ A3  
ISSUE DATE  
12.05.2026  
PROJECT NO.  
2613

DRAWING NO.  
A03.1  
REVISION NO.

**PLANNING OVERLAYS**

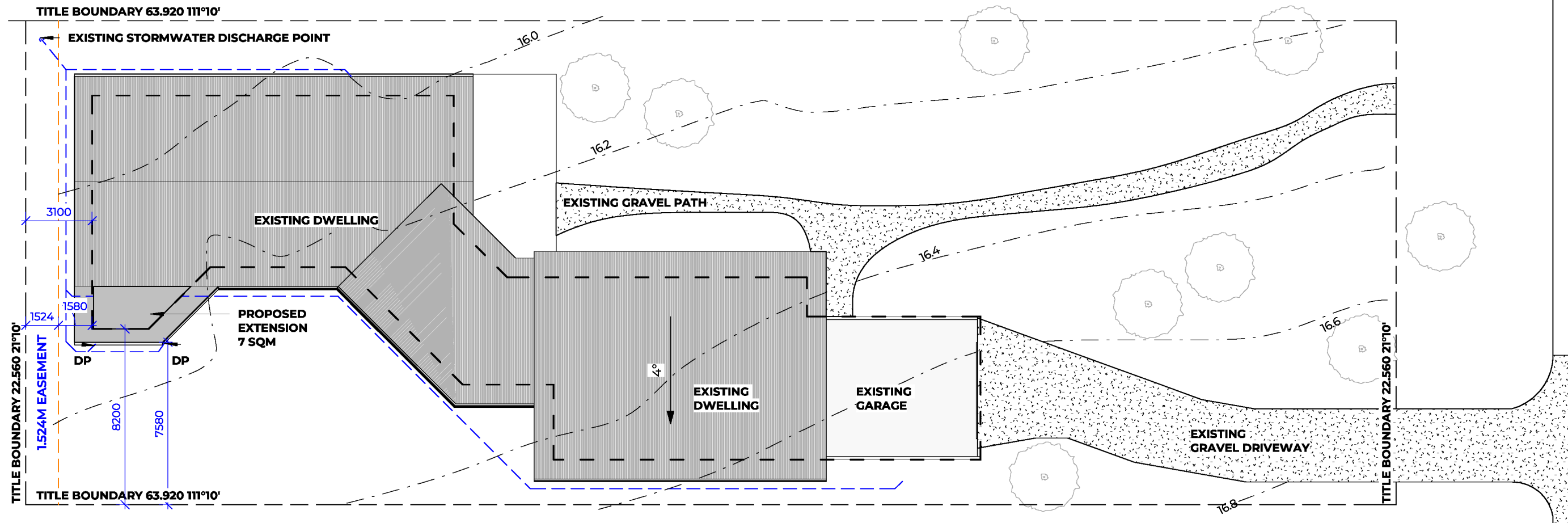
Zone:  
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GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)  
Overlays:  
DESIGN AND DEVELOPMENT OVERLAY (DDO)  
DESIGN AND DEVELOPMENT OVERLAY - SCHEDULE 3 (DDO3)  
VEGETATION PROTECTION OVERLAY (VPO)  
VEGETATION PROTECTION OVERLAY - SCHEDULE 1 (VPO1)  
ENVIRONMENTAL SIGNIFICANCE OVERLAY (ESO)  
ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 21 (ESO21)  
SIGNIFICANT LANDSCAPE OVERLAY (SLO)  
SIGNIFICANT LANDSCAPE OVERLAY - SCHEDULE 2 (SLO2)  
ENVIRONMENTAL SIGNIFICANCE OVERLAY - SCHEDULE 28 (ESO28)  
HERITAGE OVERLAY (HO)  
HERITAGE OVERLAY (HO290)

|                                     |           |
|-------------------------------------|-----------|
| <b>AREAS</b>                        |           |
| SITE                                | 1,441 SQM |
| HOUSE                               | 274.9 SQM |
| GARAGE                              | 58.3 SQM  |
| PERGOLA                             | 36.8 SQM  |
| EXTENSION                           | 7 SQM     |
| <b>PROPOSED SITE COVERAGE 23.7%</b> |           |
| <b>PERMEABILITY 73.8%</b>           |           |

**ADJOINING  
SINGLE STOREY  
WEATHERBOARD  
DWELLING**

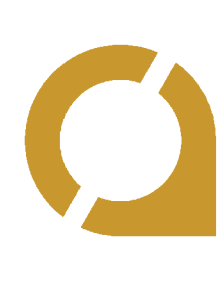
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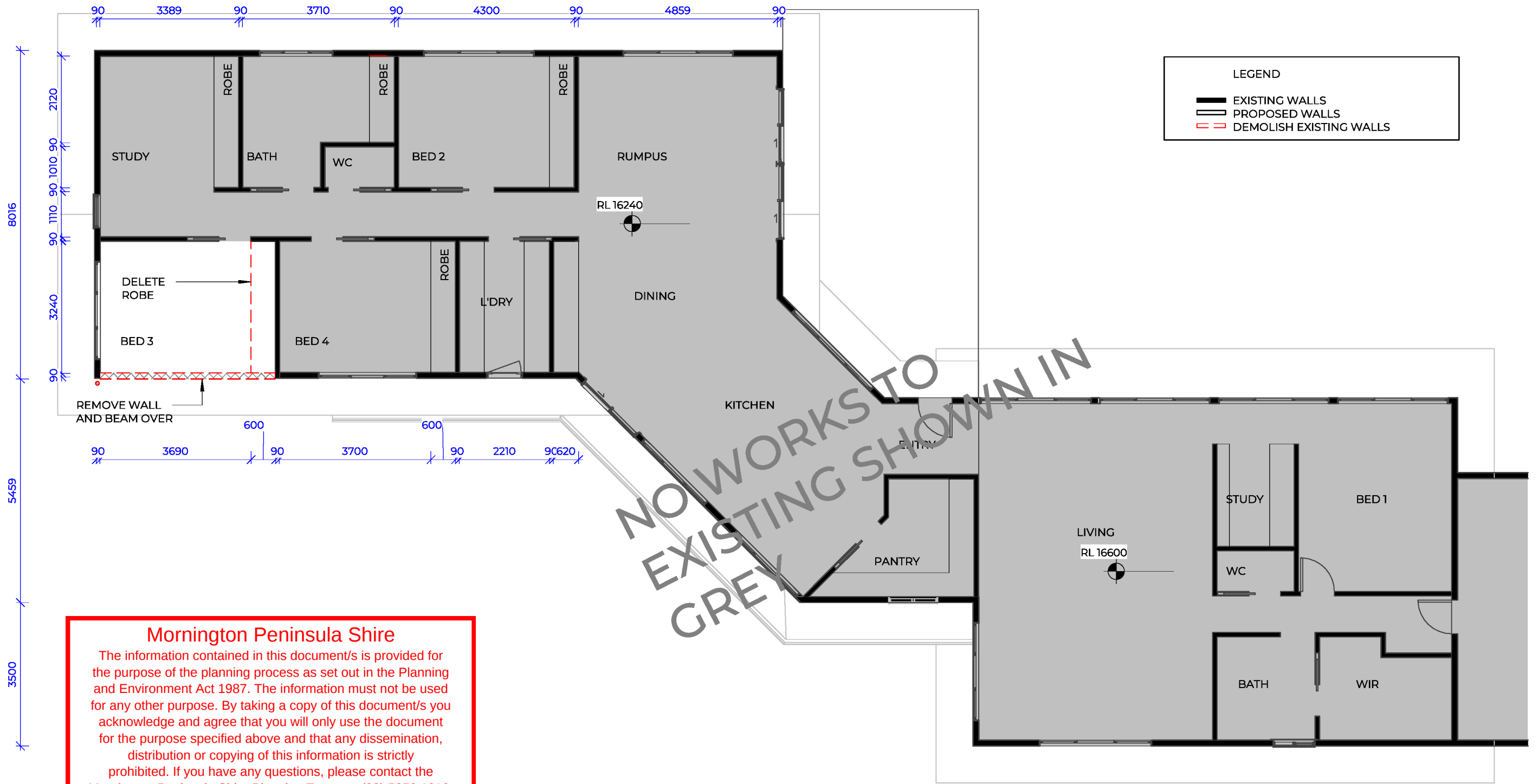


**NOTE: THE PROPOSED WORKS DOES NOT REQUIRE ANY VEGETATION REMOVAL**

**ADJOINING  
TWO STOREY  
WEATHERBOARD  
DWELLING**



|                                  |                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                           |                      |                                   |                     |
|----------------------------------|------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------|-----------------------------------|---------------------|
| <b>REVISIONS</b>                 | <b>CLIENT</b>                                        | <b>NOTES</b>                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>DRAWING TITLE</b> | <b>DRAWN BY</b>                   | <b>DRAWING NO.</b>  |
| REVISIONS    DATE    DESCRIPTION | <b>PROJECT ADDRESS</b><br>82 PALM BEACH GROVE SOMERS | Check and verify all dimensions prior to commencement of work. This drawing shall be read in conjunction with all other contract documents including those by other consultants, and including specification. Seek clarification with the architect where inconsistencies / conflicts occur. Figured dimensions shall take precedence to scaled dimensions. This drawing is copyright and shall remain the property of Cusp Architecture. | <b>PR SITE PLAN</b>  | CUSP ARCHITECTURE                 | <b>A03.2</b>        |
|                                  | <b>PROJECT STAGE</b><br><b>TOWN PLANNING</b>         |                                                                                                                                                                                                                                                                                                                                                                                                                                           |                      | <b>SCALE</b><br>As indicated @ A3 | <b>REVISION NO.</b> |
|                                  |                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                           |                      | <b>ISSUE DATE</b><br>12.05.2026   |                     |
|                                  |                                                      |                                                                                                                                                                                                                                                                                                                                                                                                                                           |                      | <b>PROJECT NO.</b><br>2613        |                     |



① EX GROUND FLOOR PLAN  
1 : 100



#### REVISIONS

| REVISIONS | DATE | DESCRIPTION |
|-----------|------|-------------|
|           |      |             |

#### CLIENT

#### PROJECT ADDRESS

82 PALM BEACH GROVE SOMERS

#### PROJECT STAGE

**TOWN PLANNING**

#### NOTES

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#### DRAWING TITLE

**EX GROUND FLOOR / DEMOLITION PLAN**



**DRAWN BY**  
CUSP ARCHITECTURE

**SCALE**  
1 : 100

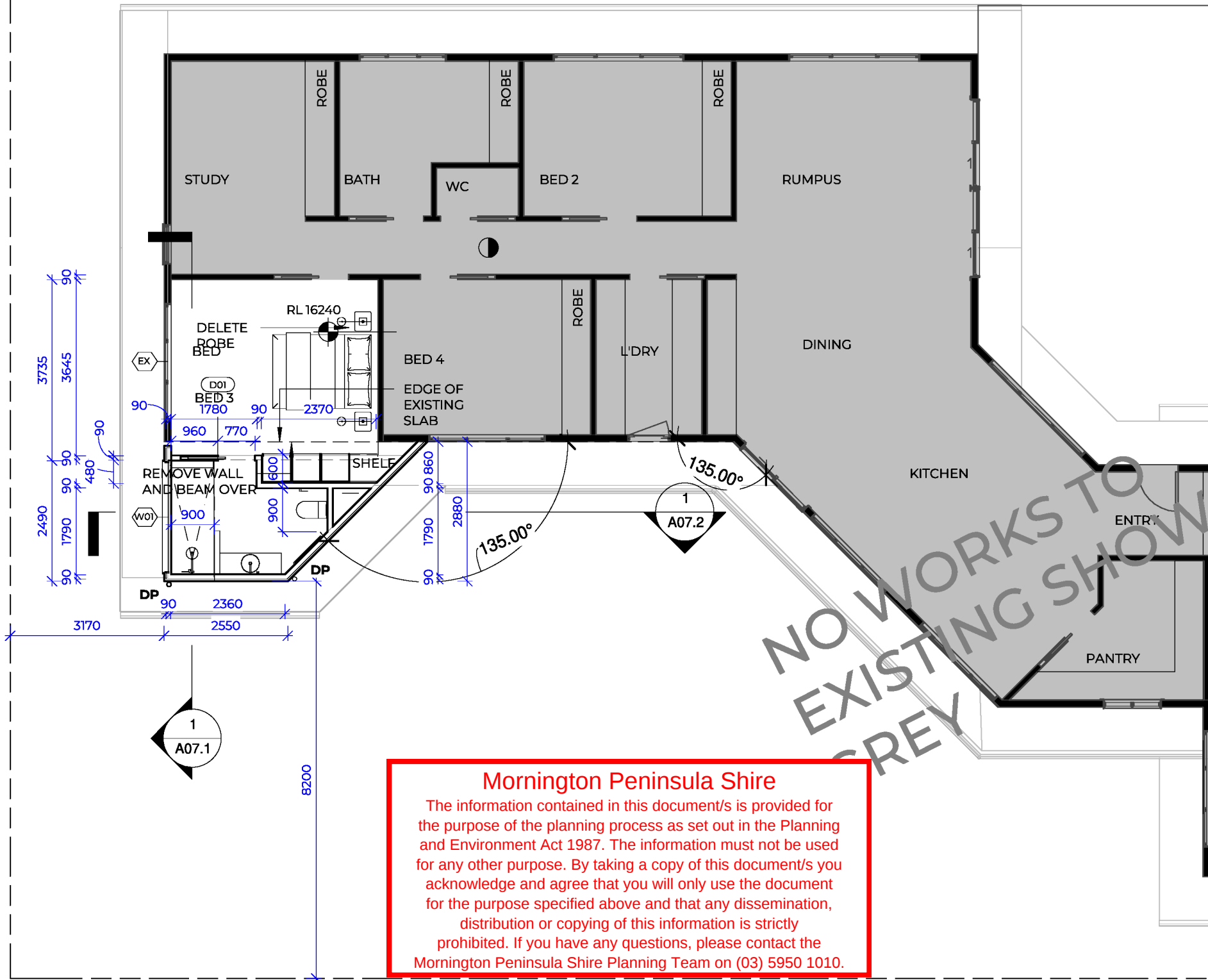
**ISSUE DATE**  
12.05.2026  
**PROJECT NO.**  
2613

**@A3**

**DRAWING NO.**

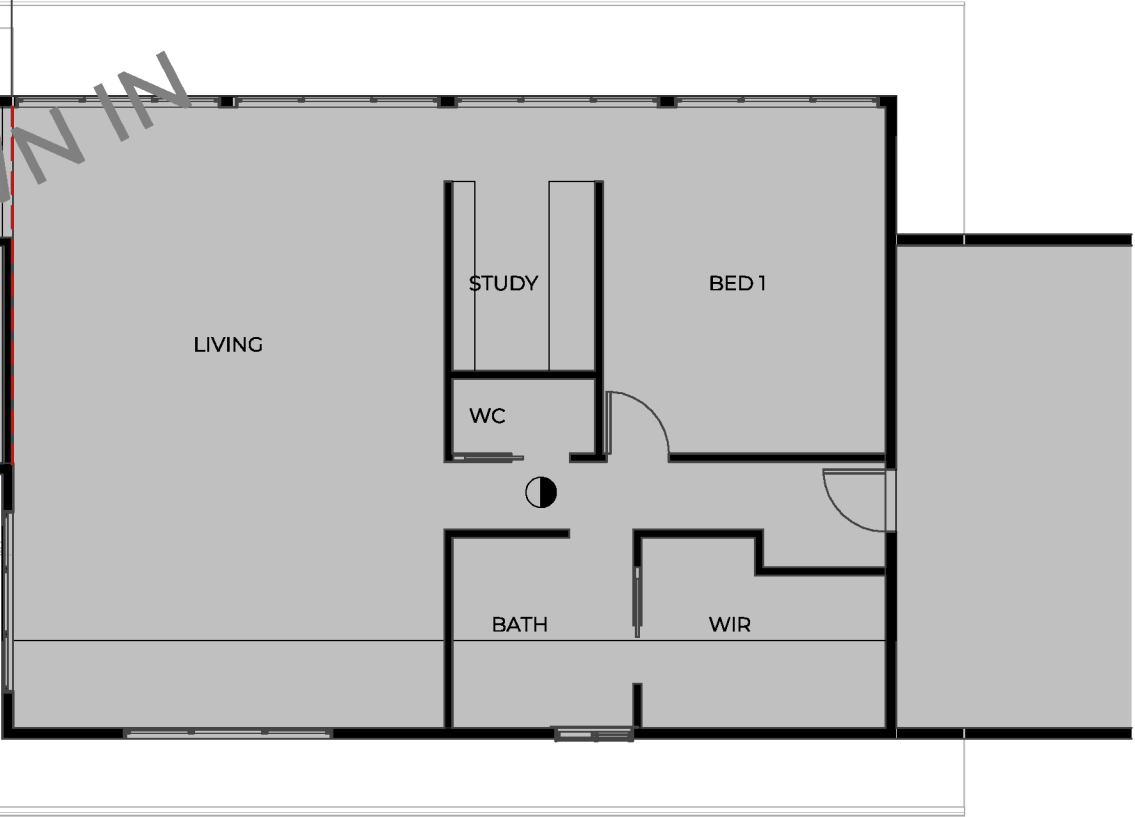
**A04.1**

**REVISION NO.**



| Door Schedule |          |        |       |                |                |            |            |
|---------------|----------|--------|-------|----------------|----------------|------------|------------|
| Mark          | Location | Height | Width | Finish         | Frame Material | Comments   | Panel Type |
| D01           | BATH     | 2100   | 770   | MATCH EXISTING | MATCH EXISTING | CAV SLIDER | SSC        |

| Window Schedule |          |              |       |        |                       |         |
|-----------------|----------|--------------|-------|--------|-----------------------|---------|
| Mark            | Location | Window Style | Width | Height | Material              | Glazing |
| W01             | BATH     | F            | 2350  | 650    | MATCH EXISTING TIMBER | DG      |



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| LEGEND |                         |  |
|--------|-------------------------|--|
|        | EXISTING WALLS          |  |
|        | PROPOSED WALLS          |  |
|        | DEMOLISH EXISTING WALLS |  |

1 PR GROUND FLOOR PLAN  
1 : 100

**REVISIONS**

| REVISIONS | DATE | DESCRIPTION |
|-----------|------|-------------|
|-----------|------|-------------|

**CLIENT**

**PROJECT ADDRESS**

82 PALM BEACH GROVE SOMERS

**PROJECT STAGE**

**TOWN PLANNING**

**NOTES**

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**DRAWING TITLE**

**PR GROUND FLOOR PLAN**

**DRAWN BY**

CUSP ARCHITECTURE

**SCALE**

1 : 100 @A3

**ISSUE DATE**

12.05.2026

**PROJECT NO.**

2613

**DRAWING NO.**

**A04.2**

**REVISION NO.**

RAINWATER PRODUCTS

- DP** 100 DIAMETER DOWNPIPE PAINTED UPVC TO MATCH WALL COLOUR
- RS1** KLIPLOK ROOF SHEETING COLOUR AS PER FINISHES SCHEDULE INSTALLED IN ACCORDANCE WITH BLUESCOPE MANUFACTURER'S SPECIFICATIONS, SA HB39 INSTALLATION CODE FOR METAL ROOF AND NCC 2022 PART 10.8 CONDENSATION MANAGEMENT
- CSR BRADFORD ANTICON® 60 MM R1.3 FOIL-FACED ROOFING BLANKET (OR EQUIVALENT) TO UNDERSIDE OF COLORBOND ROOF SHEETING. EQUIVALENT BLANKET TO BE COMPLIANT WITH NCC VOLUME 2 PART 10.8 AND AS 4200.1/4200.2 INSTALLATION STANDARDS
- FG** COLORBOND FASCIA GUTTER ON METAL FASCIA. GUTTER AND FASCIA PROFILE TO MATCH EXISTING (ASSUMED SQUARELINE). REFER TO FINISHES SCHEDULE

NOTE:

ALL ROOF PLUMBING WORKS—INCLUDING INSTALLATION OF GUTTERS, DOWNPIPES, FLASHINGS, AND ASSOCIATED STORMWATER DRAINAGE: SHALL COMPLY WITH NCC 2022 (VOLUME TWO, PART 7.4 AND H2D6 FOR GUTTERS AND DOWNPIPES), AS/NZS 3500.3:2021 (PLUMBING AND DRAINAGE—STORMWATER DRAINAGE), AND AS/NZS 3500.5 WHERE APPLICABLE.

BOX GUTTERS, EAVES GUTTERS, AND DOWNPIPE SIZES AND LOCATIONS MUST BE DESIGNED TO ACCOMMODATE CALCULATED ROOF CATCHMENT AREAS AND LOCAL RAINFALL INTENSITIES PER NCC AND AUSTRALIAN STANDARDS.

ALL METAL ROOF DRAINAGE COMPONENTS MUST FURTHER COMPLY WITH SA HB 39 (INSTALLATION CODE FOR METAL ROOF AND WALL CLADDING).

1 EX ROOF PLAN  
1 : 100

REMOVE GUTTER AND FASCIA SECTION TO PREPARE FOR EXTENSION

Mornington Peninsula Shire

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REVISIONS

REVISIONS DATE DESCRIPTION

CLIENT

PROJECT ADDRESS

82 PALM BEACH GROVE SOMERS

PROJECT STAGE

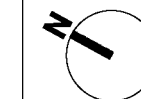
TOWN PLANNING

NOTES

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DRAWING TITLE

EX ROOF PLAN



DRAWN BY

CUSP ARCHITECTURE

SCALE

1 : 100

@A3

ISSUE DATE

12.05.2026

PROJECT NO.

2613

DRAWING NO.

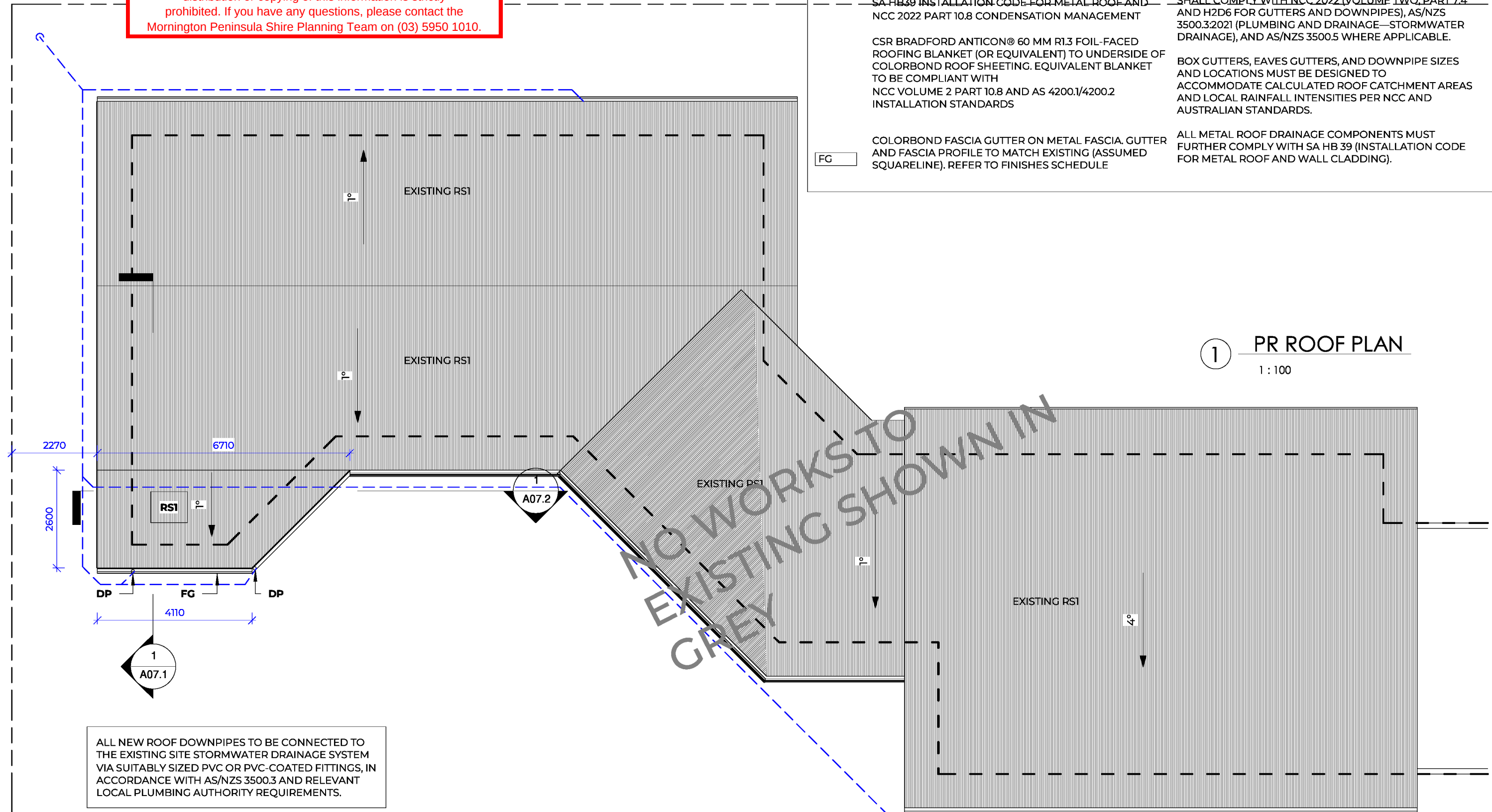
A05.1

REVISION NO.

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|     |                                                                                                                                                                                                                             |
|-----|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| DP  | 100 DIAMETER DOWNPIPE PAINTED UPVC TO MATCH WALL COLOUR                                                                                                                                                                     |
| RS1 | KLIPLOK ROOF SHEETING COLOUR AS PER FINISHES SCHEDULE INSTALLED IN ACCORDANCE WITH BLUESCOPE MANUFACTURER'S SPECIFICATIONS, SA HB39 INSTALLATION CODE FOR METAL ROOF AND NCC 2022 PART 10.8 CONDENSATION MANAGEMENT         |
| CSR | BRADFORD ANTICON® 60 MM R1.3 FOIL-FACED ROOFING BLANKET (OR EQUIVALENT) TO UNDERSIDE OF COLORBOND ROOF SHEETING. EQUIVALENT BLANKET TO BE COMPLIANT WITH NCC VOLUME 2 PART 10.8 AND AS 4200.1/4200.2 INSTALLATION STANDARDS |
| FG  | COLORBOND FASCIA GUTTER ON METAL FASCIA. GUTTER AND FASCIA PROFILE TO MATCH EXISTING (ASSUMED SQUARELINE). REFER TO FINISHES SCHEDULE                                                                                       |

ALL METAL ROOF DRAINAGE COMPONENTS MUST FURTHER COMPLY WITH SA HB 39 (INSTALLATION CODE FOR METAL ROOF AND WALL CLADDING).



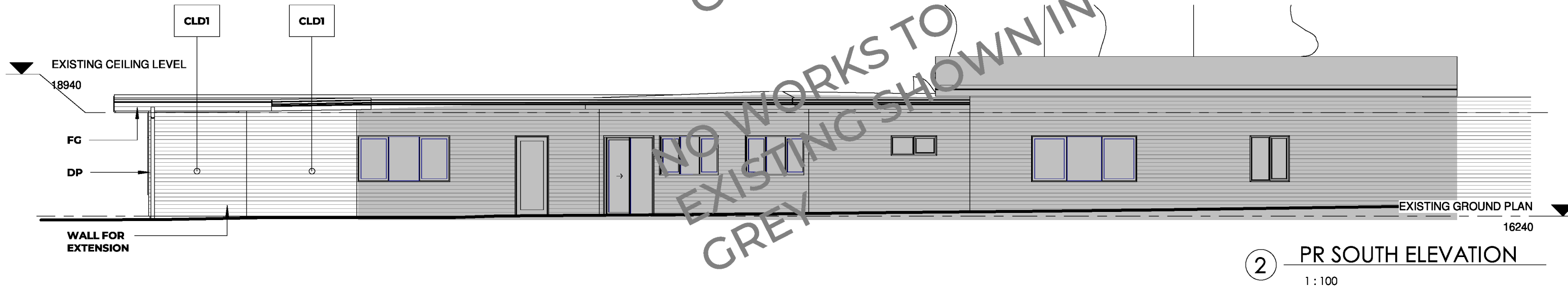
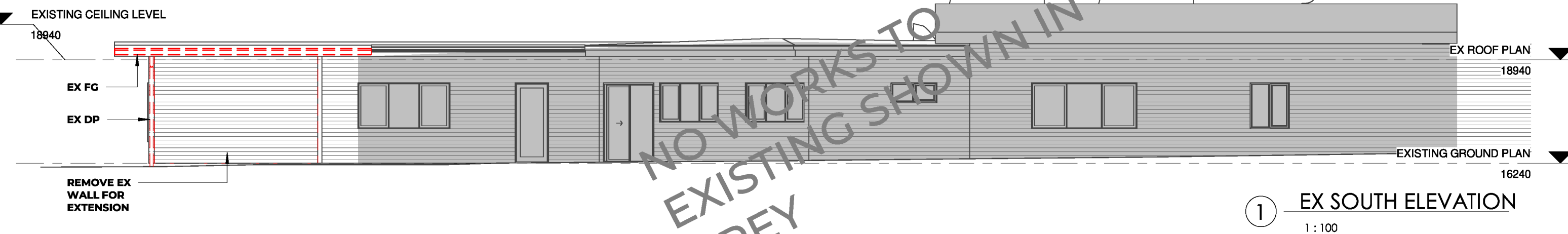
REVISION NO.



EXTERIOR FINISHES SCHEDULE

| CODE      | DESCRIPTION                                                                                                                                               |
|-----------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| RS1       | COLOURBOND 0.48 BMT CUSTOM ORB ROOF SHEETING IN FINISH TO MATCH EXISTING, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NCC REQUIREMENTS |
| CLD1      | HORIZONTAL SHIPLAP CLADDING TO MATCH EXISTING FIXED TO 35MM BATTENS                                                                                       |
| W, D      | WINDOWS AND DOORS POWDERCOATED IN 'BLACK'                                                                                                                 |
| DP        | DOWNSPIPES TO MATCH WALL COLOUR                                                                                                                           |
| FG FASCIA | FASCIA GUTTER AND FASCIA TO MATCH EXISTING                                                                                                                |

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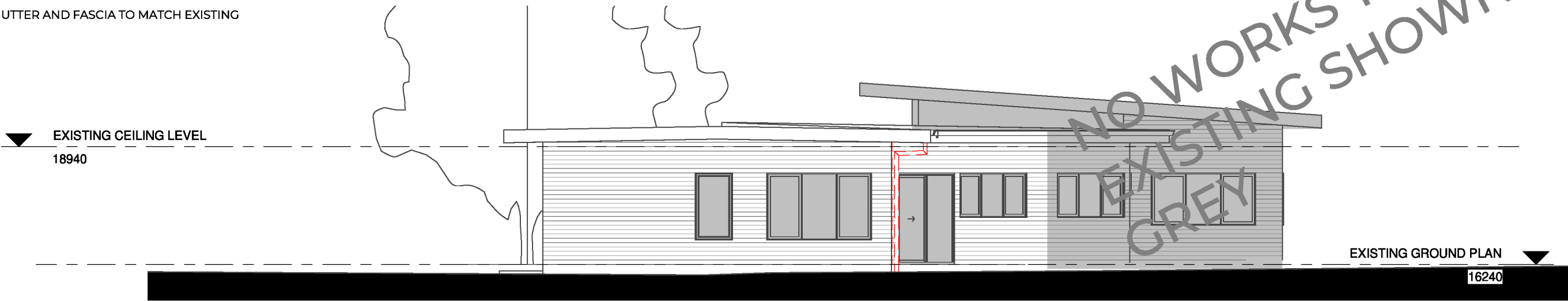


|                                                                                    |                                                      |                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                   |                                      |                                    |
|------------------------------------------------------------------------------------|------------------------------------------------------|---------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------|--------------------------------------|------------------------------------|
|  | <b>REVISIONS</b><br>REVISIONS    DATE    DESCRIPTION | <b>CLIENT</b><br><br><b>PROJECT ADDRESS</b><br>82 PALM BEACH GROVE SOMERS | <b>NOTES</b><br>Check and verify all dimensions prior to commencement of work. This drawing shall be read in conjunction with all other contract documents including those by other consultants, and including specification. Seek clarification with the architect where inconsistencies / conflicts occur. Figured dimensions shall take precedence to scaled dimensions. This drawing is copyright and shall remain the property of Cusp Architecture. | <b>DRAWING TITLE</b><br><b>ELEVATIONS - SOUTH</b> | <b>DRAWN BY</b><br>CUSP ARCHITECTURE | <b>DRAWING NO.</b><br><b>A06.1</b> |
|                                                                                    |                                                      | <b>PROJECT STAGE</b><br><b>TOWN PLANNING</b>                              |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                   | <b>SCALE</b><br>1 : 100    @A3       | <b>REVISION NO.</b>                |
|                                                                                    |                                                      |                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                   | <b>ISSUE DATE</b><br>12.05.2026      |                                    |
|                                                                                    |                                                      |                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                   | <b>PROJECT NO.</b><br>2613           |                                    |

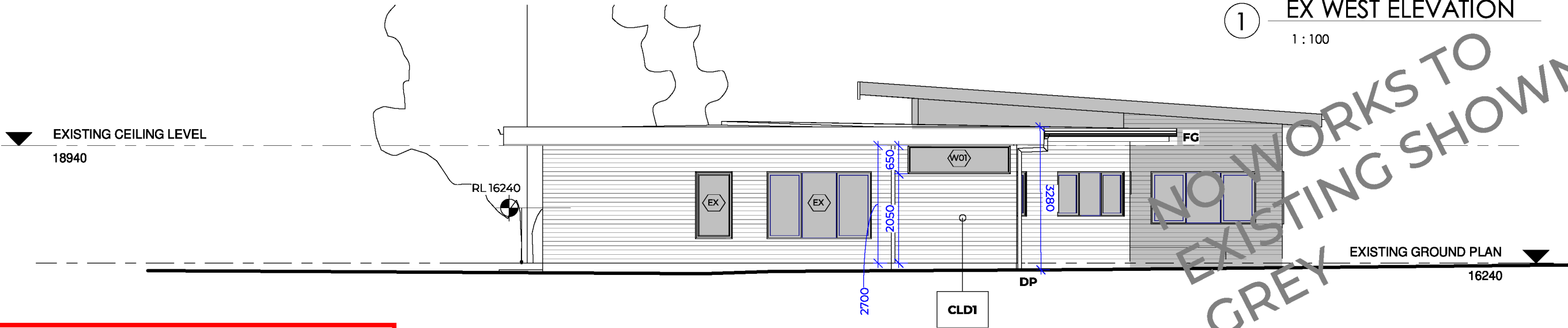
EXTERIOR FINISHES SCHEDULE

| CODE      | DESCRIPTION                                                                                                                                               |
|-----------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| RS1       | COLOURBOND 0.48 BMT CUSTOM ORB ROOF SHEETING IN FINISH TO MATCH EXISTING, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NCC REQUIREMENTS |
| CLD1      | HORIZONTAL SHIPLAP CLADDING TO MATCH EXISTING FIXED TO 35MM BATTENS                                                                                       |
| W, D      | WINDOWS AND DOORS POWDERCOATED IN 'BLACK'                                                                                                                 |
| DP        | DOWNPIPES TO MATCH WALL COLOUR                                                                                                                            |
| FG FASCIA | FASCIA GUTTER AND FASCIA TO MATCH EXISTING                                                                                                                |

○ Exterior Finishes Schedule  
1 : 100



① EX WEST ELEVATION  
1 : 100



② PR WEST ELEVATION  
1 : 100

Mornington Peninsula Shire

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NOTES

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DRAWING TITLE

ELEVATIONS - WEST

DRAWN BY

CUSP ARCHITECTURE

SCALE

1 : 100

ISSUE DATE

12.05.2026

PROJECT NO.

2613

DRAWING NO.

A06.2

REVISION NO.

REVISIONS DATE DESCRIPTION

PROJECT ADDRESS

82 PALM BEACH GROVE SOMERS

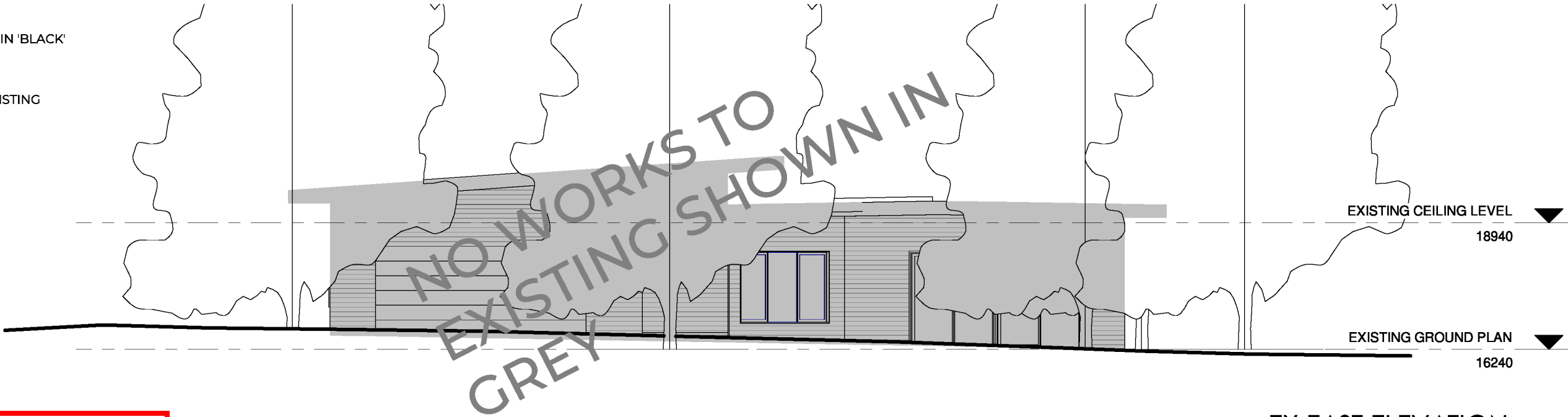
PROJECT STAGE

TOWN PLANNING

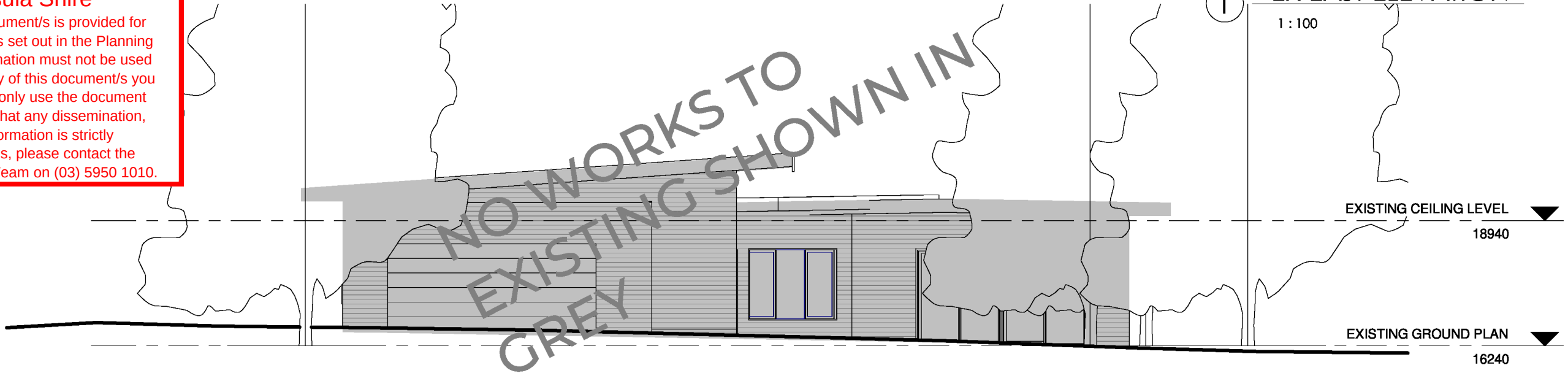
EXTERIOR FINISHES SCHEDULE

| CODE      | DESCRIPTION                                                                                                                                               |
|-----------|-----------------------------------------------------------------------------------------------------------------------------------------------------------|
| RS1       | COLOURBOND 0.48 BMT CUSTOM ORB ROOF SHEETING IN FINISH TO MATCH EXISTING, INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND NCC REQUIREMENTS |
| CLD1      | HORIZONTAL SHIPLAP CLADDING TO MATCH EXISTING FIXED TO 35MM BATTENS                                                                                       |
| W, D      | WINDOWS AND DOORS POWDERCOATED IN 'BLACK'                                                                                                                 |
| DP        | DOWNSPIPES TO MATCH WALL COLOUR                                                                                                                           |
| FG FASCIA | FASCIA GUTTER AND FASCIA TO MATCH EXISTING                                                                                                                |

○ Exterior Finishes Schedule  
1 : 100



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① EX EAST ELEVATION  
1 : 100

② PR EAST ELEVATION  
1 : 100

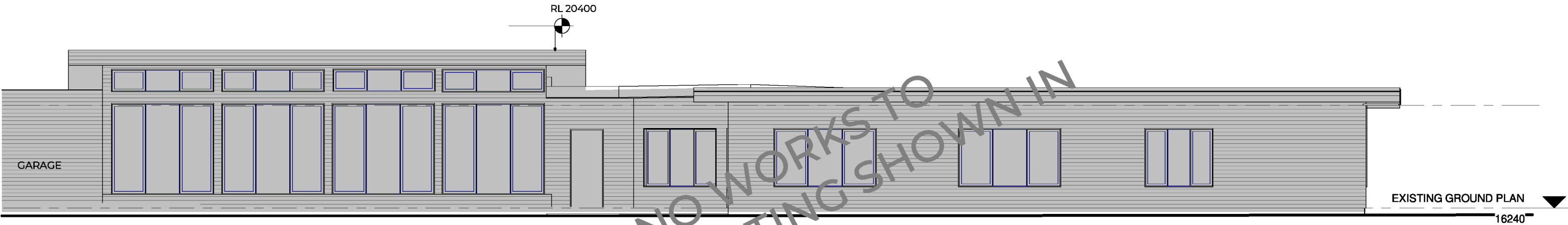
|                                                                                    |                                                      |                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                  |                                                                                                                                         |                                                           |
|------------------------------------------------------------------------------------|------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------------|-----------------------------------------------------------|
|  | <b>REVISIONS</b><br>REVISIONS    DATE    DESCRIPTION | <b>CLIENT</b><br><br><b>PROJECT ADDRESS</b><br>82 PALM BEACH GROVE SOMERS<br><b>PROJECT STAGE</b><br><b>TOWN PLANNING</b> | <b>NOTES</b><br>Check and verify all dimensions prior to commencement of work. This drawing shall be read in conjunction with all other contract documents including those by other consultants, and including specification. Seek clarification with the architect where inconsistencies / conflicts occur. Figured dimensions shall take precedence to scaled dimensions. This drawing is copyright and shall remain the property of Cusp Architecture. | <b>DRAWING TITLE</b><br><b>ELEVATIONS - EAST</b> | <b>DRAWN BY</b><br>CUSP ARCHITECTURE<br><b>SCALE</b><br>1 : 100    @A3<br><b>ISSUE DATE</b><br>12.05.2026<br><b>PROJECT NO.</b><br>2613 | <b>DRAWING NO.</b><br><b>A06.3</b><br><b>REVISION NO.</b> |
|                                                                                    |                                                      |                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                  |                                                                                                                                         |                                                           |
|                                                                                    |                                                      |                                                                                                                           |                                                                                                                                                                                                                                                                                                                                                                                                                                                           |                                                  |                                                                                                                                         |                                                           |

EXTERIOR FINISHES SCHEDULE

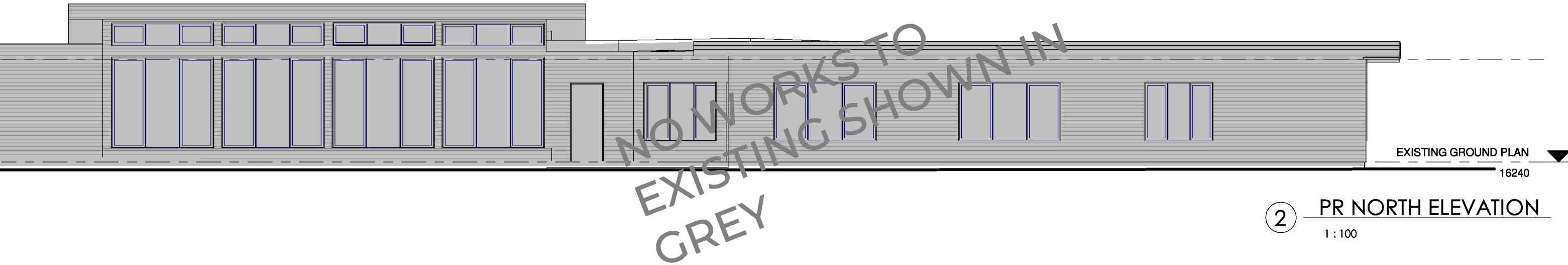
| CODE         | DESCRIPTION                                                                                                                                                        |
|--------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| RS1          | COLOURBOND 0.48 BMT CUSTOM ORB ROOF SHEETING<br>IN FINISH TO MATCH EXISTING, INSTALLED IN ACCORDANCE<br>WITH MANUFACTURER'S SPECIFICATIONS AND NCC<br>REQUIREMENTS |
| CLD1         | HORIZONTAL SHIPLAP CLADDING TO MATCH EXISTING FIXED<br>TO 35MM BATTENS                                                                                             |
| W, D         | WINDOWS AND DOORS POWDERCOATED IN 'BLACK'                                                                                                                          |
| DP           | DOWNSPIPES TO MATCH WALL COLOUR                                                                                                                                    |
| FG<br>FASCIA | FASCIA GUTTER AND FASCIA TO MATCH EXISTING                                                                                                                         |

Mornington Peninsula Shire

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1 EX NORTH ELEVATION  
1 : 100



2 PR NORTH ELEVATION  
1 : 100

|                                                                                    |                                  |                            |                                                                                                                                                                                                                                                                                                                                                                                                                                           |                           |                                 |                     |
|------------------------------------------------------------------------------------|----------------------------------|----------------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------|---------------------------------|---------------------|
|  | <b>REVISIONS</b>                 | <b>CLIENT</b>              | <b>NOTES</b>                                                                                                                                                                                                                                                                                                                                                                                                                              | <b>DRAWING TITLE</b>      | <b>DRAWN BY</b>                 | <b>DRAWING NO.</b>  |
|                                                                                    | REVISIONS    DATE    DESCRIPTION | <b>PROJECT ADDRESS</b>     | Check and verify all dimensions prior to commencement of work. This drawing shall be read in conjunction with all other contract documents including those by other consultants, and including specification. Seek clarification with the architect where inconsistencies / conflicts occur. Figured dimensions shall take precedence to scaled dimensions. This drawing is copyright and shall remain the property of Cusp Architecture. | <b>ELEVATIONS - NORTH</b> | CUSP ARCHITECTURE               | <b>A06.4</b>        |
|                                                                                    |                                  | 82 PALM BEACH GROVE SOMERS |                                                                                                                                                                                                                                                                                                                                                                                                                                           |                           | <b>SCALE</b><br>1 : 100    @A3  | <b>REVISION NO.</b> |
|                                                                                    |                                  | <b>PROJECT STAGE</b>       |                                                                                                                                                                                                                                                                                                                                                                                                                                           |                           | <b>ISSUE DATE</b><br>12.05.2026 |                     |
|                                                                                    |                                  | <b>TOWN PLANNING</b>       |                                                                                                                                                                                                                                                                                                                                                                                                                                           |                           | <b>PROJECT NO.</b><br>2613      |                     |

## Mornington Peninsula Shire

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MAINTAIN A CLEAR 20-25 MM GAP BETWEEN THE TOP OF THE FASCIA AND THE UNDERSIDE OF THE ROOF SARKING/MEMBRANE FOR UNOBSTRUCTED AIRFLOW FROM THE EXTERIOR INTO THE ROOF CAVITY

KLIPOK ROOFING AT PITCH TO MATCH EXISTING

OUTRIGGER ROOF PURLIN TO ENGINEERS DETAILS

FASCIA GUTTER TO MATCH EXISTING ON SOUTH SIDE

CSR BRADFORD ANTICON® 60 MM R1.3 FOIL-FACED ROOFING BLANKET (OR EQUIVALENT) TO UNDERSIDE OF COLORBOND ROOF SHEETING. EQUIVALENT BLANKET TO BE COMPLIANT WITH NCC VOLUME 2 PART 10.8 AND AS 4200.1/4200.2 INSTALLATION STANDARDS R4 INSULATION BATTS

EXISTING BOX GUTTER 300 WIDE WITH 375 DEEP FASCIA. FASCIA TO BE REMOVE FOR EXTENSION

EXISTING 240 x 42 LVL15 TIMBER PURLINS AT 900 CENTRES

EXISTING CEILING LEVEL

18940

BATHROOM CL  
18790

6MM F/C SHEET EAVE LINING

HORIZONTAL SHIPLAP CLADDING TO MATCH EXISTING FIXED TO 35MM VERTICAL BATTENS

90MM STUD WALL WITH R2.5 WALL INSULATION

TILES ON WP PB TO CLIENT SELECTION

ENSUITE

BED 3

STUDY

EXISTING GROUND PLAN

16240

FINISHED GROUND AND PAVING ADJACENT TO THE DWELLING IS TO FALL AWAY FROM THE BUILDING A MINIMUM OF 50 MM OVER THE FIRST 1 M (MINIMUM SLOPE 1:20), OR 25 MM OVER THE FIRST 1 M (MINIMUM SLOPE 1:40) WHERE PERMITTED BY THE NCC BASED ON SURFACE TYPE AND RAINFALL, TO PREVENT SURFACE WATER PONDING AGAINST THE BUILDING LINE AND TO COMPLY WITH NCC SURFACE WATER DRAINAGE PROVISIONS

PROPOSED SLAB AND EDGE BEAMS TO ENGINEERS DETAILS

EXISTING WAFFLE POD SLAB

### REVISIONS

| REVISIONS | DATE | DESCRIPTION |
|-----------|------|-------------|
|-----------|------|-------------|

### CLIENT

### PROJECT ADDRESS

82 PALM BEACH GROVE SOMERS

### PROJECT STAGE

**TOWN PLANNING**

### NOTES

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### DRAWING TITLE

**SECTIONS - SHEET 1**

DRAWN BY  
CUSP ARCHITECTURE

SCALE  
1:50

@A3

ISSUE DATE  
12.05.2026

PROJECT NO.  
2613

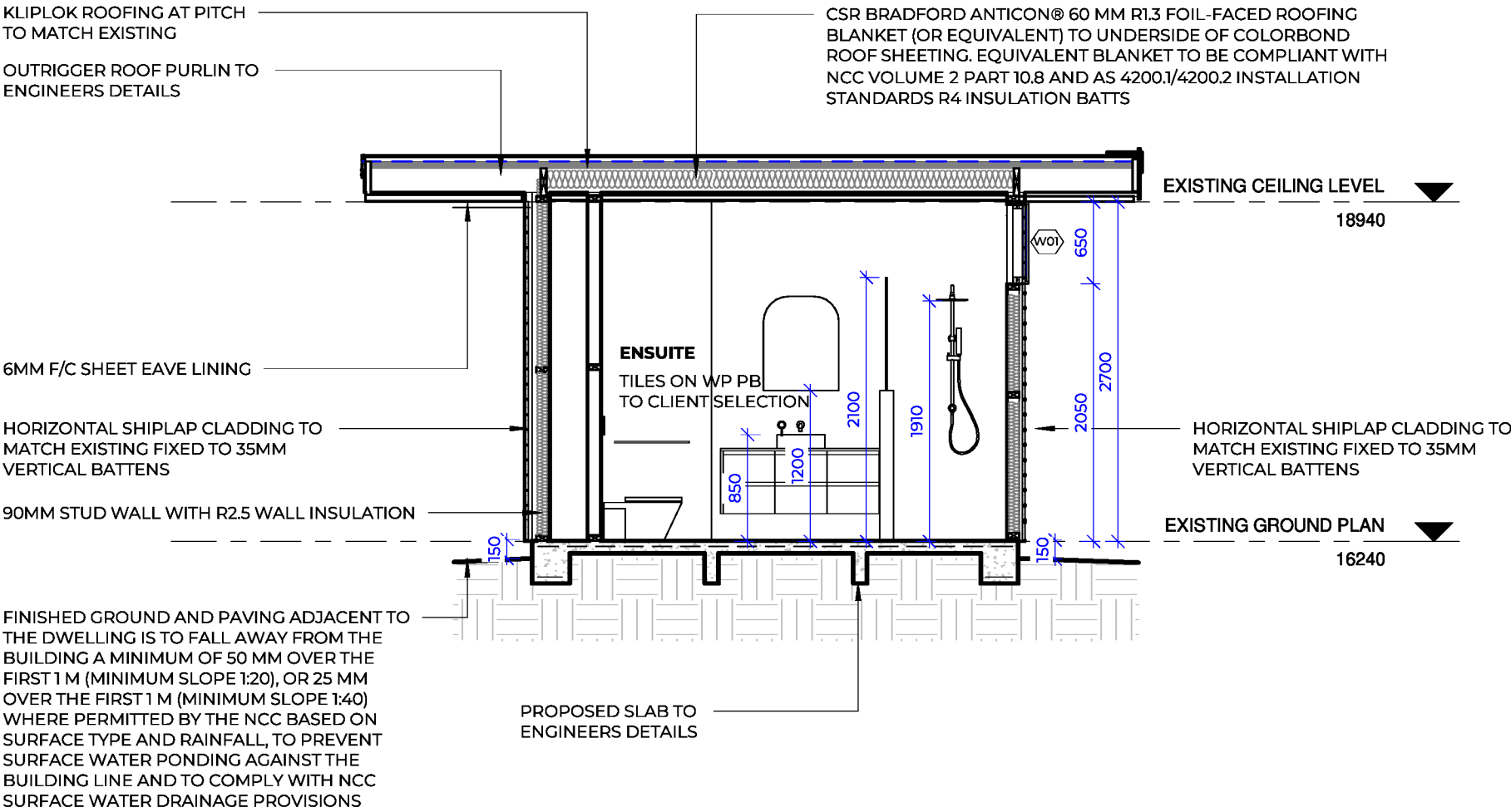
### DRAWING NO.

**A07.1**

### REVISION NO.

Mornington Peninsula Shire

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| REVISIONS |      |             |
|-----------|------|-------------|
| REVISIONS | DATE | DESCRIPTION |

**CLIENT**

**PROJECT ADDRESS**

82 PALM BEACH GROVE SOMERS

**PROJECT STAGE**

**TOWN PLANNING**

**NOTES**

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**DRAWING TITLE**

**SECTIONS - SHEET 2**

**DRAWN BY**

CUSP ARCHITECTURE

**SCALE**

1 : 50 @A3

**ISSUE DATE**

12.05.2026

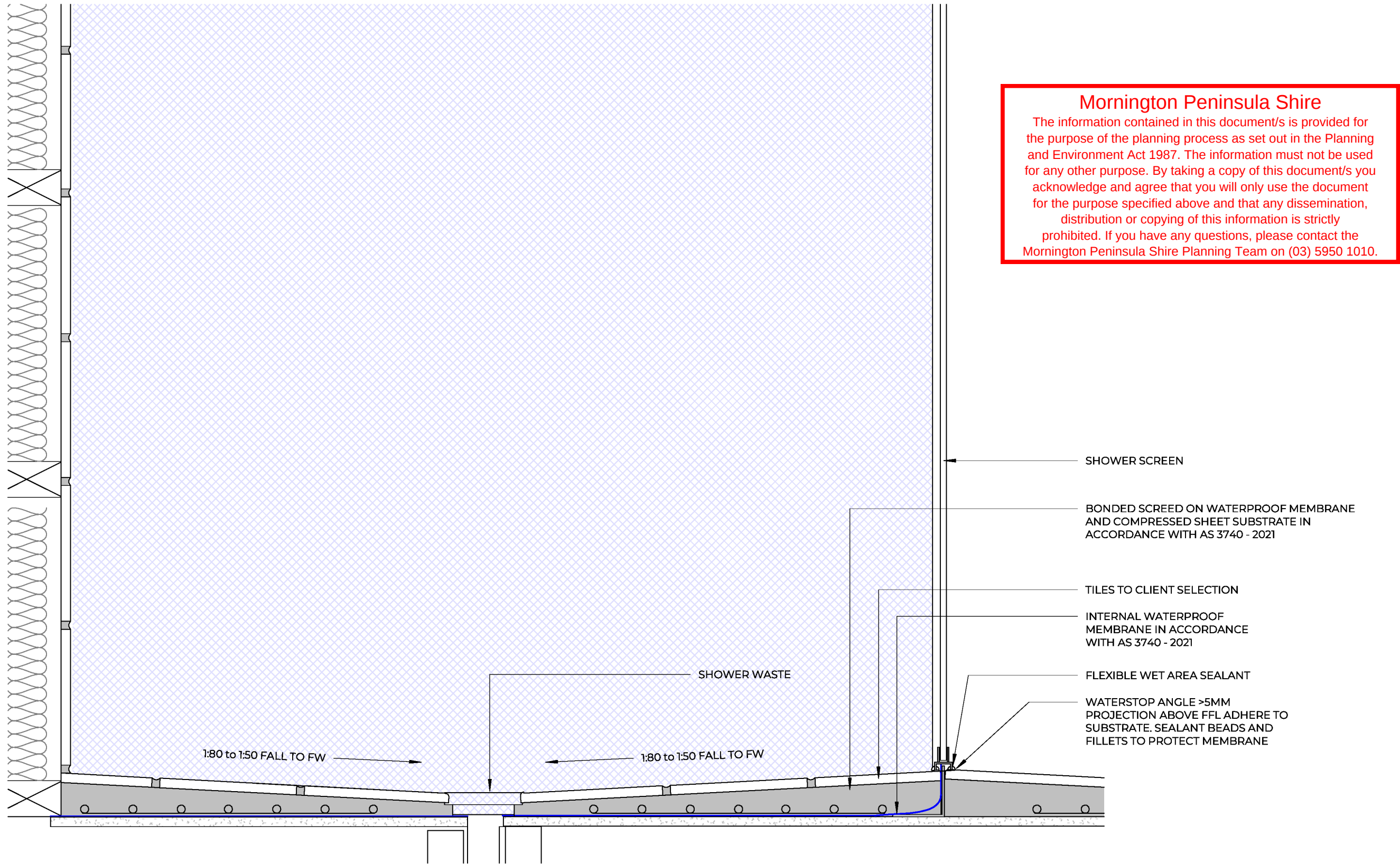
**PROJECT NO.**

2613

**DRAWING NO.**

**A07.2**

**REVISION NO.**



| REVISIONS |      |             |
|-----------|------|-------------|
| REVISIONS | DATE | DESCRIPTION |

**CLIENT**

**PROJECT ADDRESS**

82 PALM BEACH GROVE SOMERS

**PROJECT STAGE**

**TOWN PLANNING**

**NOTES**

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| DRAWING TITLE | DRAWN BY          |     | DRAWING NO.  |
|---------------|-------------------|-----|--------------|
|               | CUSP ARCHITECTURE |     |              |
|               | SCALE             |     | REVISION NO. |
|               | 1:5               | @A3 |              |
|               | ISSUE DATE        |     |              |
|               | 12.05.2026        |     |              |
|               | PROJECT NO.       |     |              |
|               | 2613              |     |              |